

Housing Kentucky Families:

new vision
new strategies

2015 Kentucky Affordable Housing Conference

Innovative Solutions: Energy
Efficiency Award

Most Blessed Sacrament
Senior Apartments

The HPI **Green** Building Platform

- Ensure that all developments incorporate as many green building features as possible
- Achieve green designations as appropriate – i.e. EnergyStar, LEED, etc.
- Strive to be a leader in the integration of green building initiatives into affordable housing

MBS: Project Synopsis

- Adaptive reuse of 1938 school building into (30) 1-BR apartments for very low-income seniors aged 62 and older
- Adaptive reuse of 1952 convent building into the HPI Community Resource Center (“CRC”) -- 12 offices, meeting rooms, and storage for HPI’s Housing Resources division, which offers homeownership counseling, financial education, and resident services
- Substantial renovation including new roof, re-glazed windows, new mechanical systems, secured entry, elevator, security cameras, Energy Star appliances, outdoor patio, new parking, high efficiency building envelope, etc.

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MBS: Project Financing

- HUD 202 Capital Advance Funds
- HUD 202 Predevelopment Grant
- Predevelopment loan (Metropolitan Housing Coalition of Louisville)
- Federal Historic Tax Credits
- State Historic Tax Credits
- 4% Low-Income Housing Tax Credits
- Tax Exempt Bonds

- TDC = \$7,130,526

MBS: Project Data

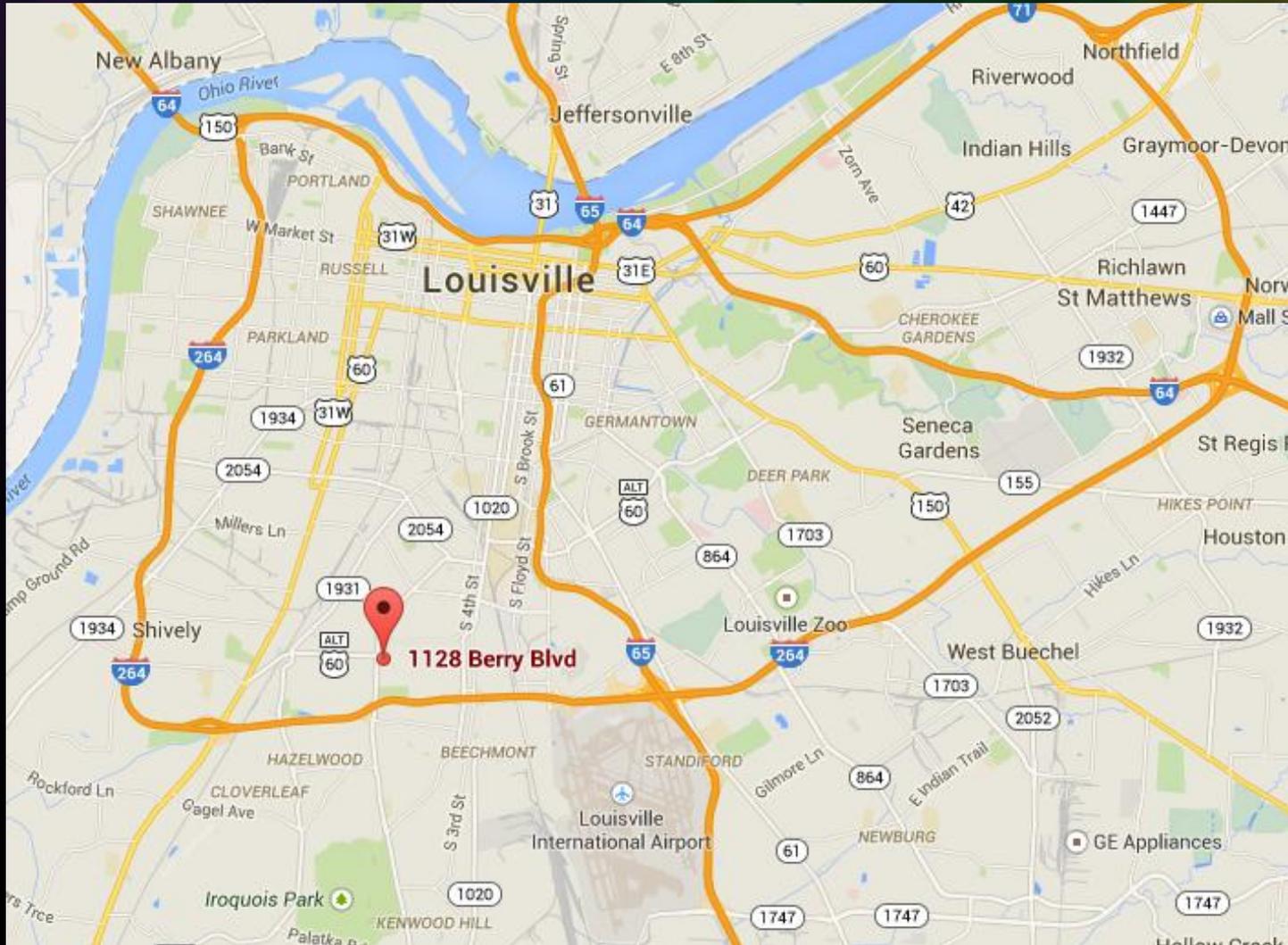
SITE, BUILDING DATA

Development Site Area	30,950 sf (0.711 ac)
Dwelling Units	30 units
Density (DU/Acre)	42.20 du/acre
Senior Apartments floor area	28,204 sf
Community Service Facility floor area	6,504 sf
Floor Area (not including basements)	34,708 sf
Floor Area Ratio (34,708/30,950)	1.121

RESIDENCY DATA

1 Bedroom Units (standard)	27
1 Bedroom Mobility Impaired	2
1 Br Sight & Hearing Impaired	1
Total Units	30

MBS: Location



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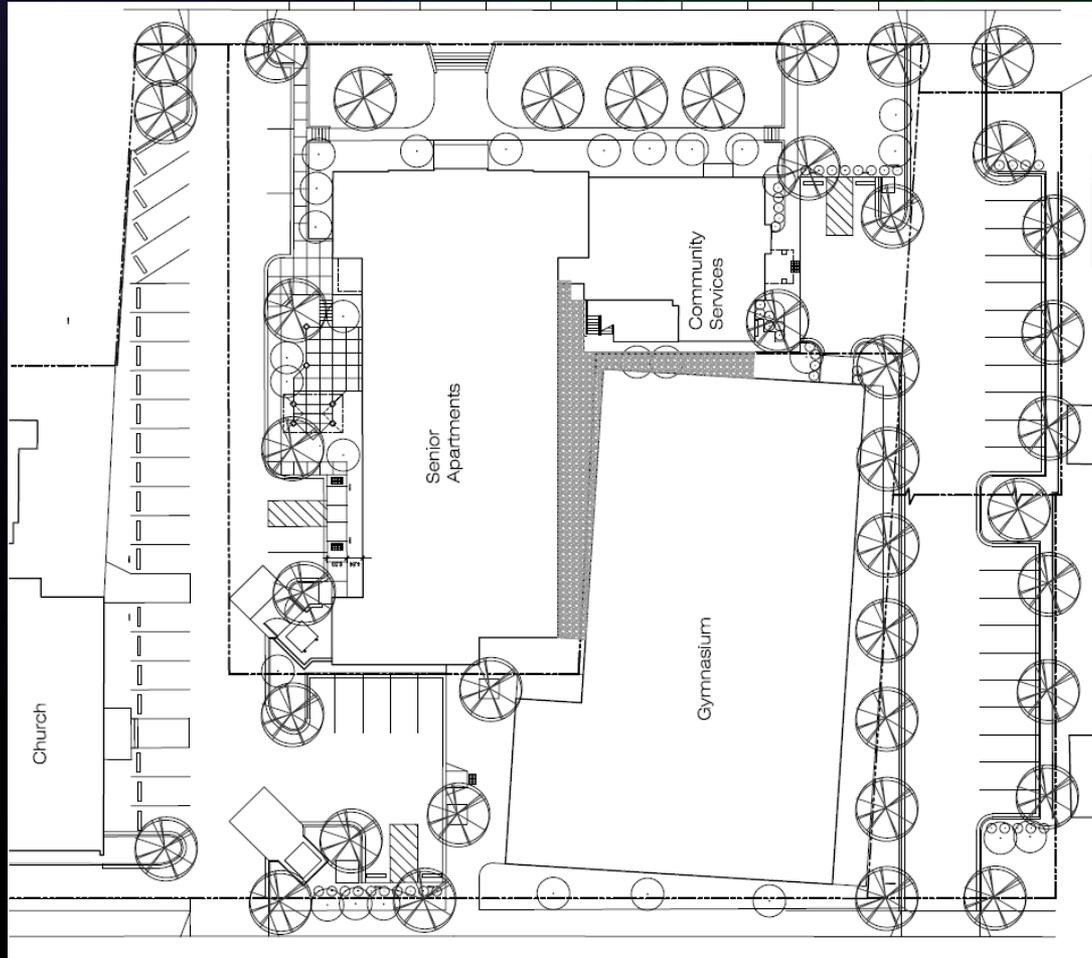
MBS: Location



MBS: Pre-Construction Photos



MBS: Site Plan



MBS: Pre-Construction Photos



MBS: Pre-Construction Photos



MBS: Pre-Construction Photos



MBS: Pre-Construction Photos



MBS: Pre-Construction Photos



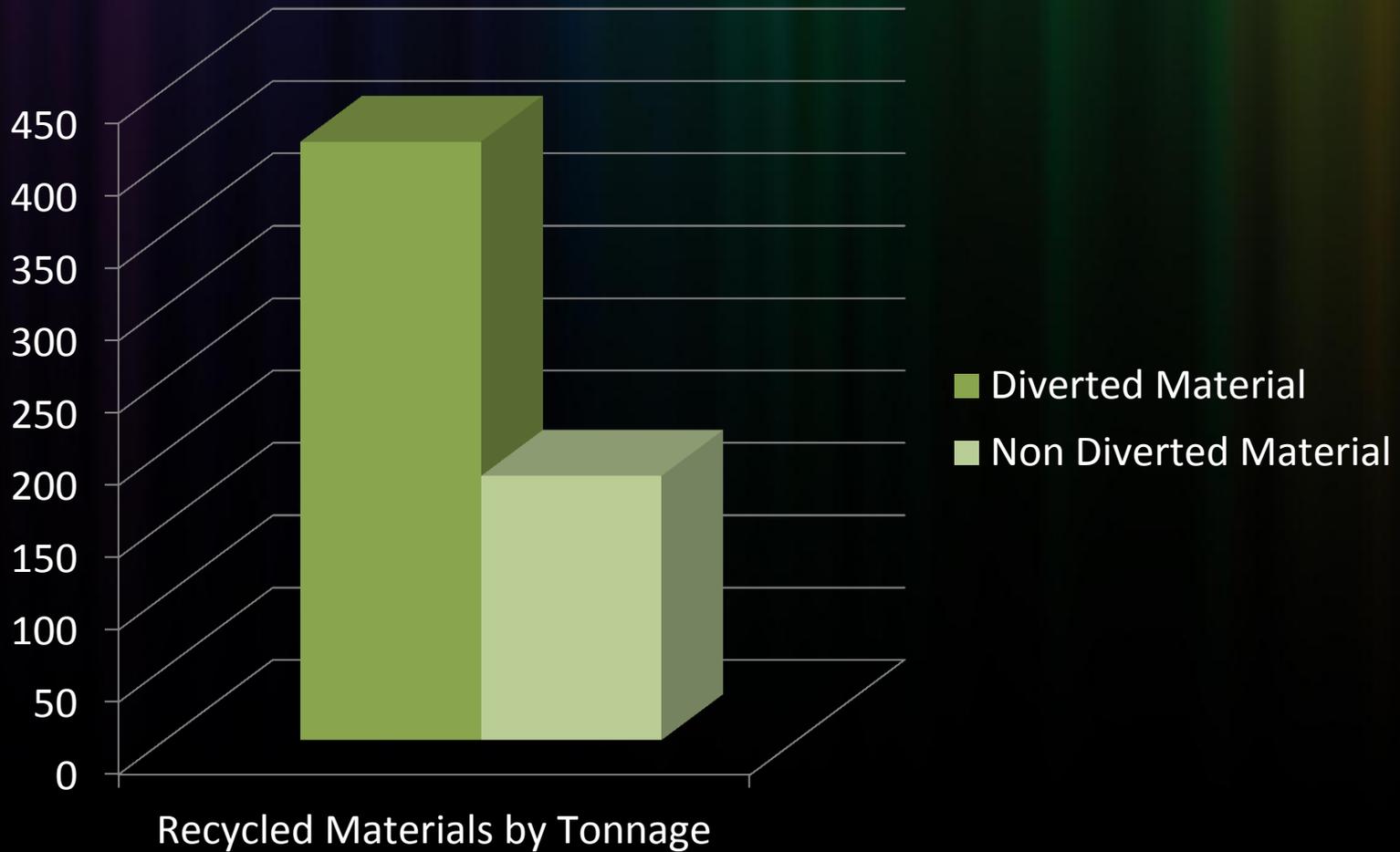
MBS: Pre-Construction Photos



MBS: Green Development Goals

- The apartment building is targeted for LEED Silver designation
- The Community Resource Center will be Energy Star-rated as a commercial building
- Diversion of demolition materials from landfill
- Building envelope standards – air sealing, insulation, thermal breaks
- Low E window film for energy efficiency
- Renewable energy (solar PV system)
- EnergyStar light fixtures and CFL light bulbs
- EnergyStar-rated appliances
- Low-flow water fixtures
- Stormwater management
- Urban infill development located a short walk from shopping and public transit

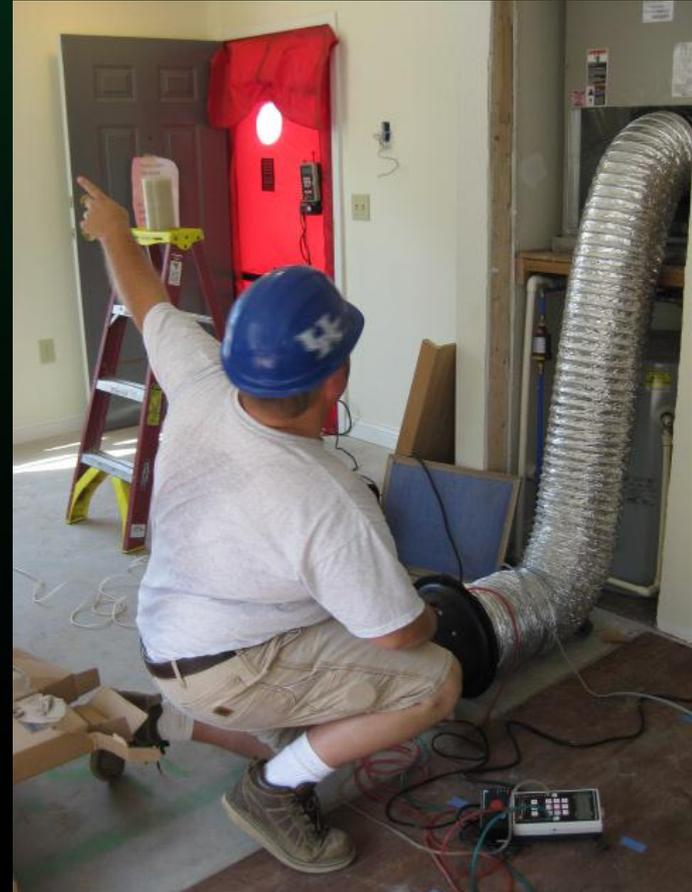
MBS: Diversion of Demolition Materials



MBS: Building Envelope



Foam Insulation



Blower Door Testing

MBS: Building Envelope

- 1" foam board applied to interior walls of exterior envelope; all seams taped to prevent air infiltration
- Wet-blown cellulose insulation in exterior walls; Low E window film
- R-50 blown-in cellulose insulation in attic
- New roof with light-colored, reflective roofing material to minimize heat gain

MBS: Building Envelope



MBS: Renewable Energy

- 30 kW system on the apartment building
- 17 kW system located on the CRC
- Multiple, ballasted arrays and power inverter are located on the roof
- Remote internet monitoring
- Both systems connected; feed common area meters



Rooftop: Before



Rooftop: After

MBS: Roof Plan



MBS: Solar Photovoltaic Panels

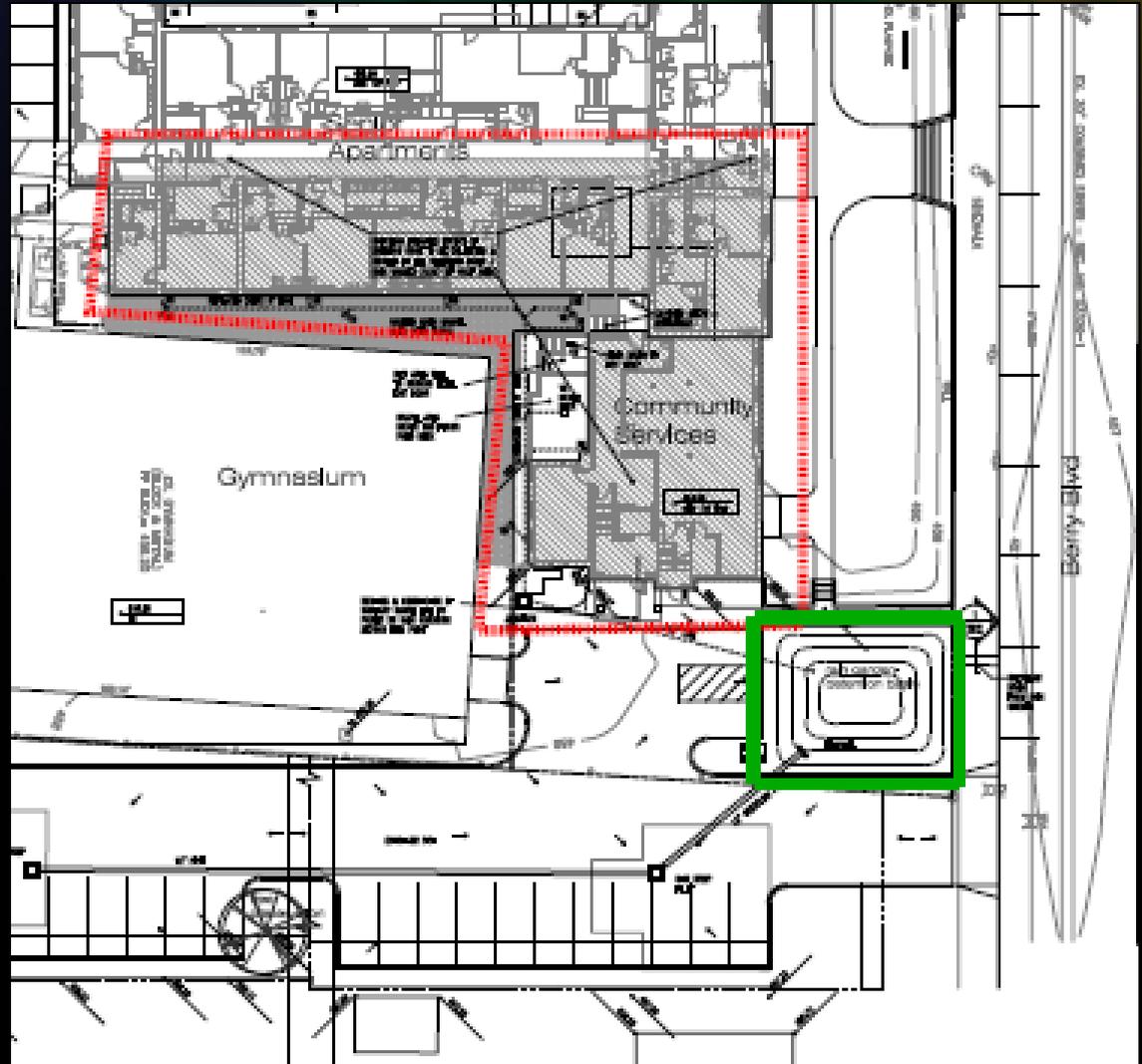


MBS: Lighting and Plumbing

- EnergyStar-rated light fixtures and CFL bulbs
- Ceiling fans
- Low-flow plumbing fixtures
 - Shower heads = 1.6 GPM
 - Kitchen faucets = 1.5 GPM
 - Toilets = 1.28 GPF
 - Water fountains = Green Spec – Made of recycled materials; energy and water efficient model

MBS: Rain Garden

- 1,200 square feet in size
- Captures $\frac{1}{2}$ of the water runoff from the apartment building roof and all of the runoff for the Community Resource Center roof.



MBS: Rain Garden



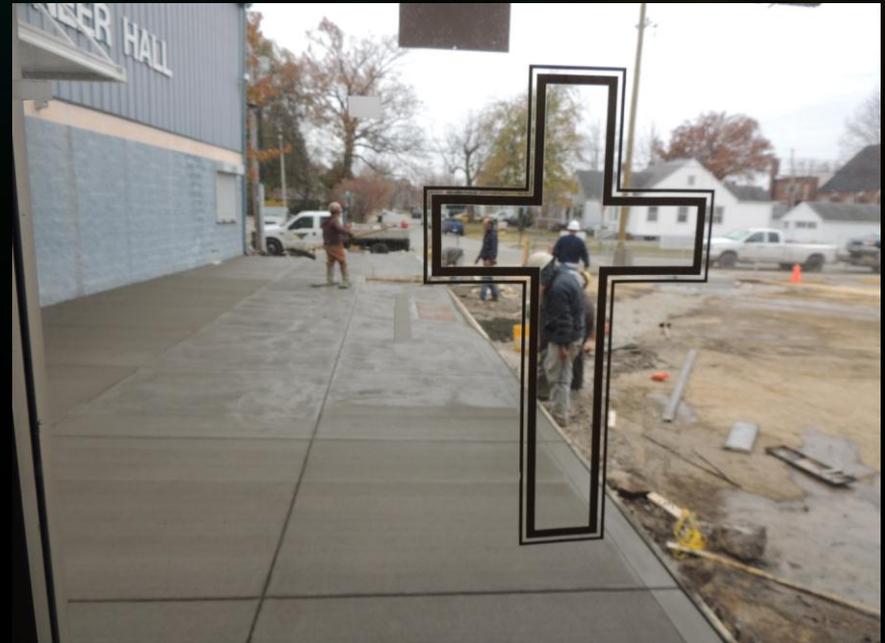
MBS: Demolition Photos



MBS: Construction Photos



MBS: Construction Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



MBS: After Photos



CRC: After Photos



MBS: Grand Opening



MBS: Partners



Thank you!

